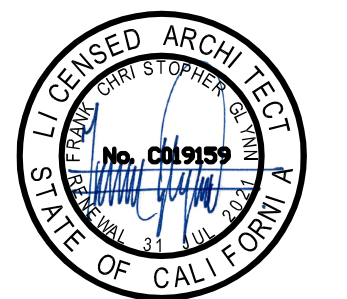




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Revisions

Seal/Signature

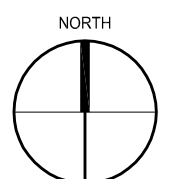


Project Number
1330

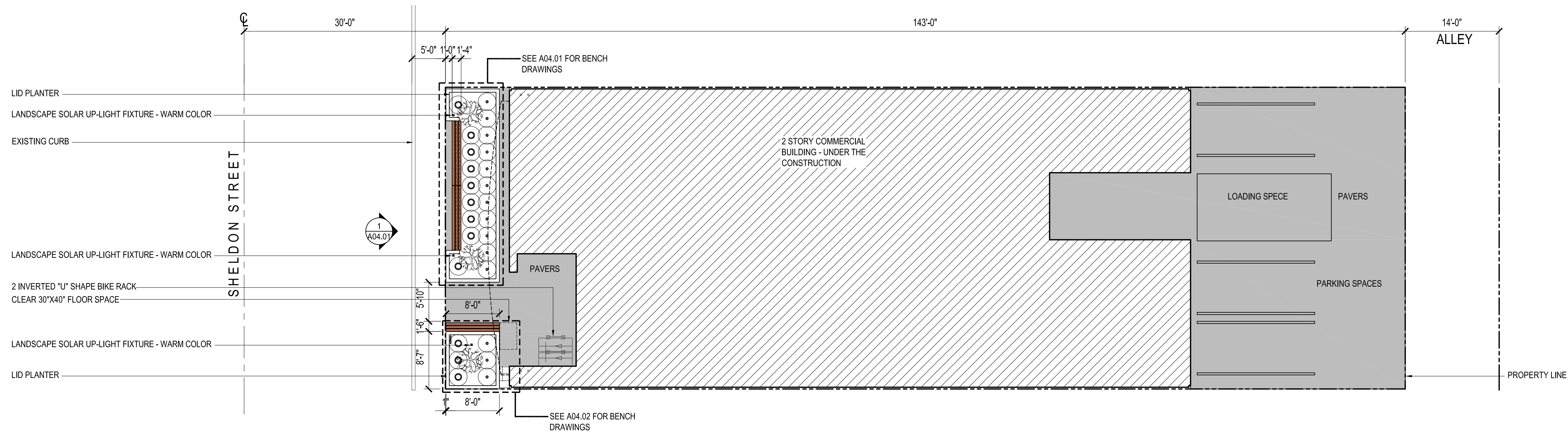
Date
MARCH 2020

Scale
VARIES

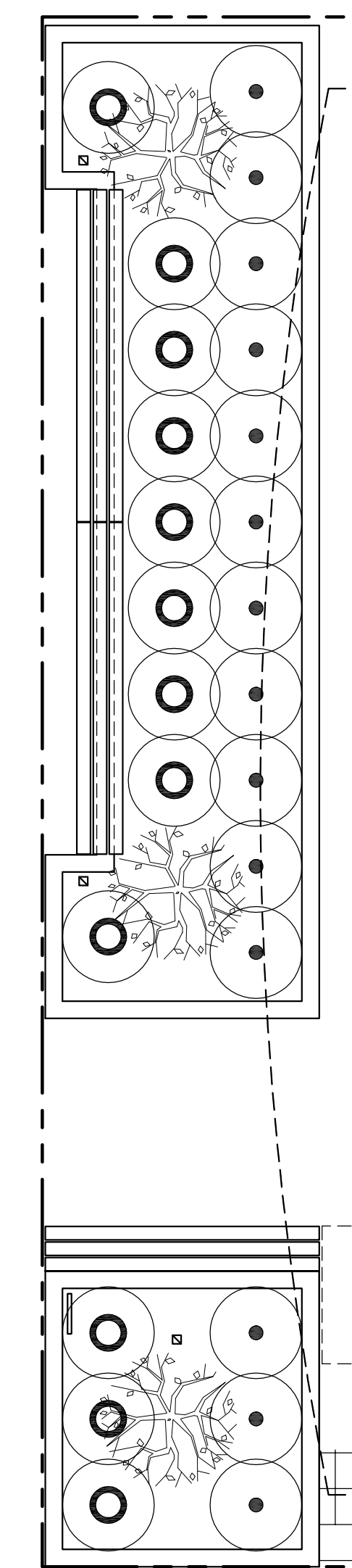
Description
**SITE PLAN AND
LANDSCAPE
PLAN**



A01.01
1330 - 140-142 SHELDON STREET



1 SITE PLAN
SCALE: 1/8" = 1'-0"



2 LANDSCAPE PLAN
SCALE: 1/4" = 1'-0"

LANDSCAPE LEGEND

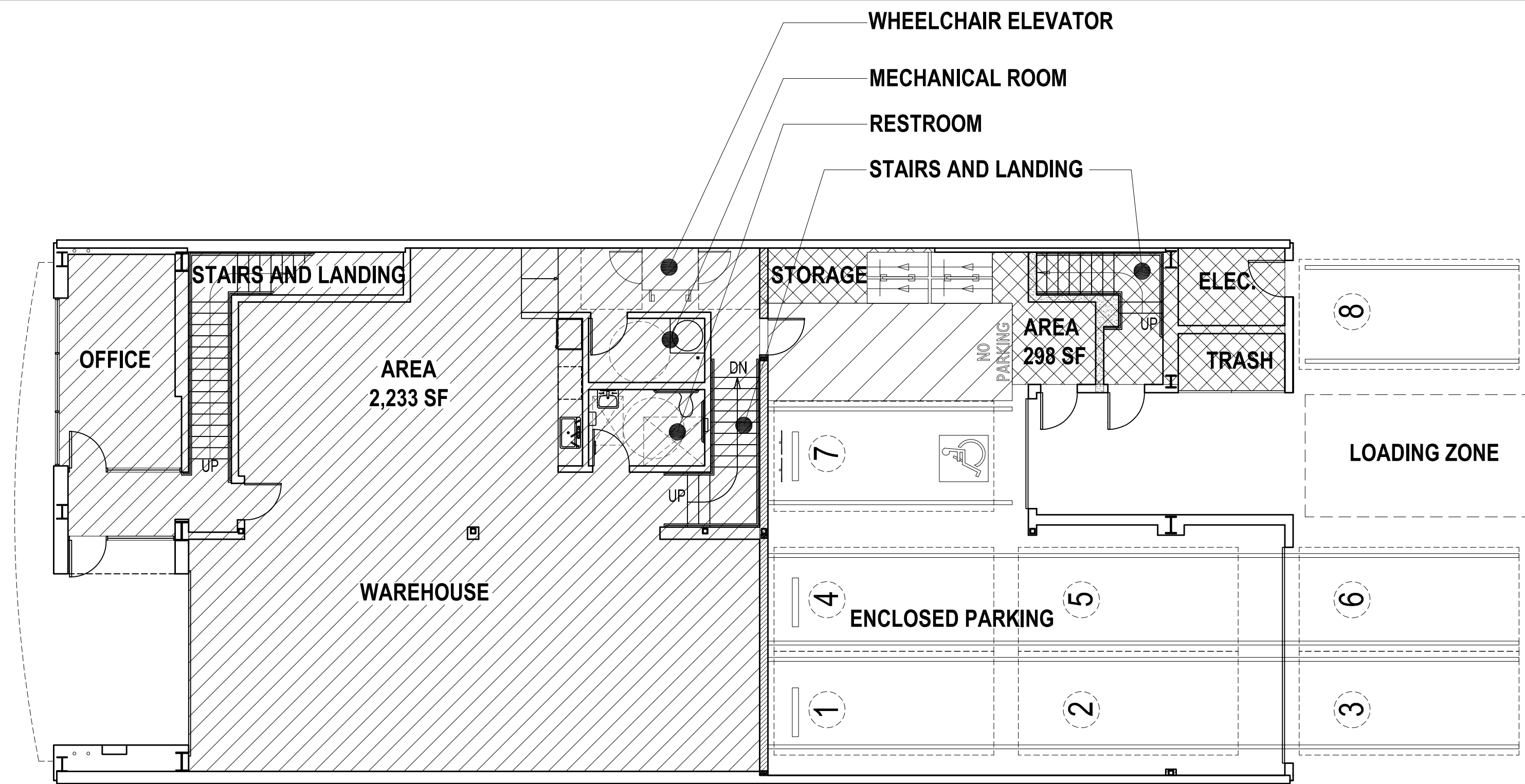
- DIETES IRIDIROIDES - 30" O.C.
- SALVIA LEUCANTHA - 30" O.C.
- RIBBON LEAF JAPANESE MAPLE
- LANDSCAPE SOLAR UP-LIGHT FIXTURE - WARM COLOR

AREA AND PARKING CALCS:

AREA CALCULATION:

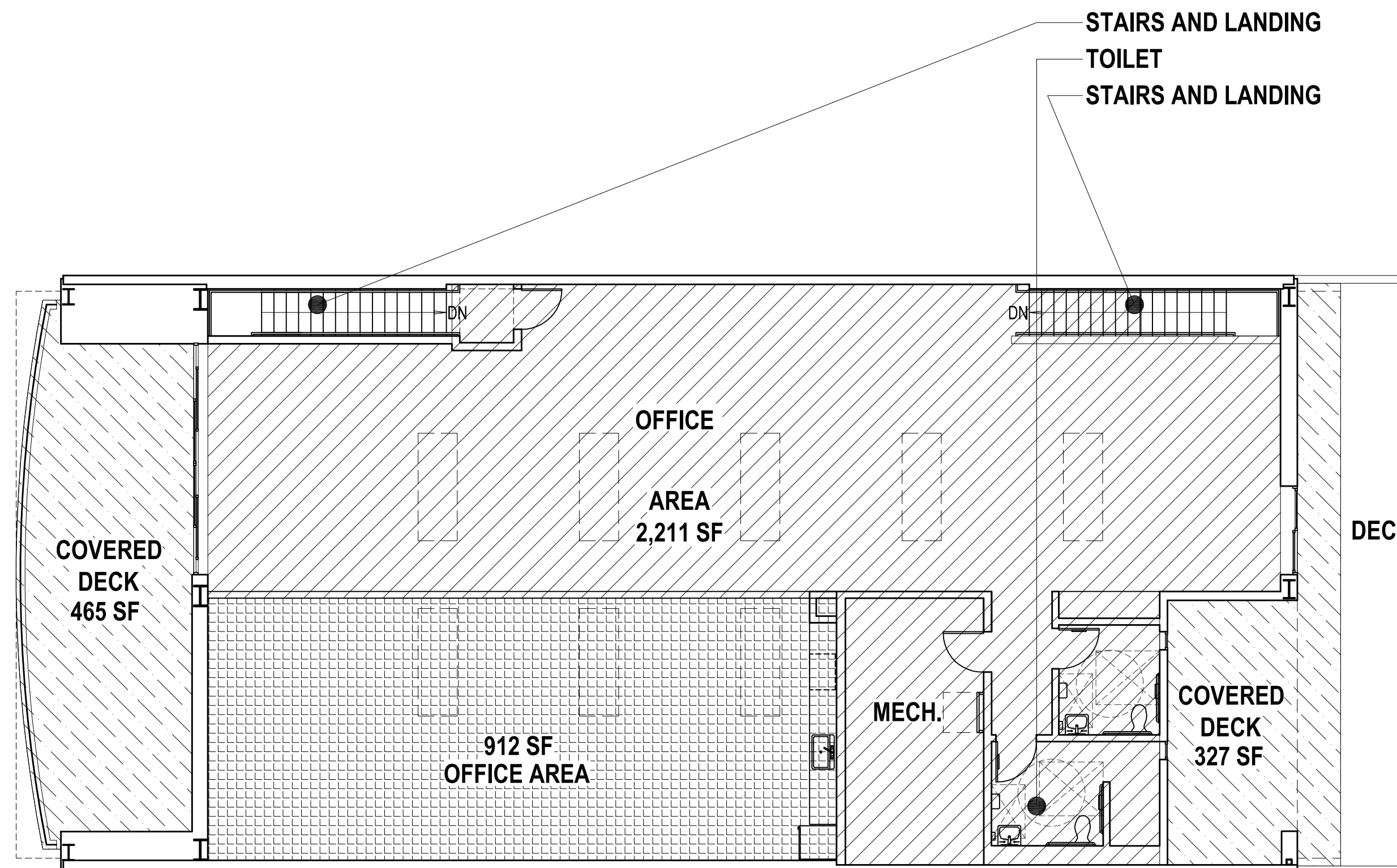
PERMITTED FIRST FLOOR INTERIOR AREA	2,233 SF
INCLUDES:	STAIRS WAREHOUSE OFFICE KITCHENETTE WHEELCHAIR ELEVATOR MECHANICAL BATHROOM
PERMITTED ENCLOSED REAR SIDE AREA	298 SF
INCLUDES:	STAIRS ELECTRICAL TRASH ENCLOSURE STORAGE
TOTAL FIRST FLOOR PERMITTED GROSS AREA:	2,531 SF
PERMITTED SECOND FLOOR INTERIOR AREA	2,211 SF
INCLUDES:	STAIRS OFFICE MECHANICAL BATHROOMS
PERMITTED SECOND FLOOR COVERED DECK AREA	792 SF
SECOND FLOOR ADDITION AREA	912 SF
TOTAL SECOND FLOOR GROSS AREA:	3,915 SF
TOTAL FIRST AND SECOND FLOOR GROSS AREA:	6,446 SF
MAX. FAR ALLOWED:	6,435 X 0.75 = 4,826.25 SF
EXISTING FAR:	5,534 SF > 4,826.25 LEGAL NONCONFORMING
PROPOSED FAR:	6,446 SF > 4,826.25 1.0 > 0.75 REQUIRES COMMUNITY BENEFITS TIER 1
EXISTING AND PROPOSED FAR PERCENTAGE:	5,534 / 6,446 = 0.86 THEREFORE 86%
PARKING:	1 SPACE FOR EACH 400 SF
EXISTING PARKING CALCS:	5,744 / 400 = 14.36 THEREFORE 14 PARKING SPACES ARE REQUIRED. PERMITTED ON SITE PARKING SPACES ARE 8. 1 HANDICAP STALL AND 7 STANDARD SPACES. LEGAL NONCONFORMING
PARKING AREA CALCS:	912 / 400 = 2.28 THEREFORE 2 ADDITIONAL PARKING SPACES ARE REQUIRED. NO ADDITIONAL PARKING WILL BE PROVIDED ON SITE. THE OWNER WILL PAY IN LIEU FEES

1 GROUND FLOOR AREA PLAN
SCALE: 1/8" = 1'-0"



- 2,233 SF [Hatched Pattern] PERMITTED GROSS FIRST FLOOR INTERIOR AREA (INCLUDES STAIRS, WAREHOUSE, OFFICE, KITCHENETTE, WHEELCHAIR ELEVATOR, MECHANICAL, AND BATHROOM)
- 298 SF [Cross-hatched Pattern] PERMITTED GROSS FLOOR AREA (INCLUDES STORAGE AREA, STAIRS, TRASH ENCLOSURE, AND ELECTRICAL ROOM)

2 SECOND FLOOR AREA PLAN
SCALE: 1/8" = 1'-0"



- 2,211 SF [Hatched Pattern] PERMITTED GROSS SECOND FLOOR INTERIOR AREA (INCLUDES STAIRS, OFFICE, MECHANICAL, AND BATHROOMS)
- 792 SF [Diagonal Pattern] PERMITTED GROSS COVERED DECK AREA
- 912 SF [Grid Pattern] ADDITION GROSS OFFICE AREA

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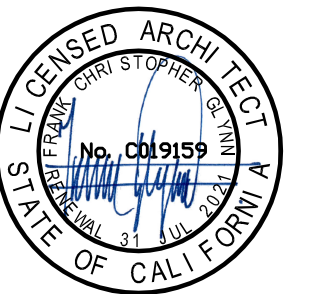


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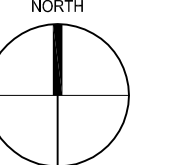


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1330

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MARCH 2020

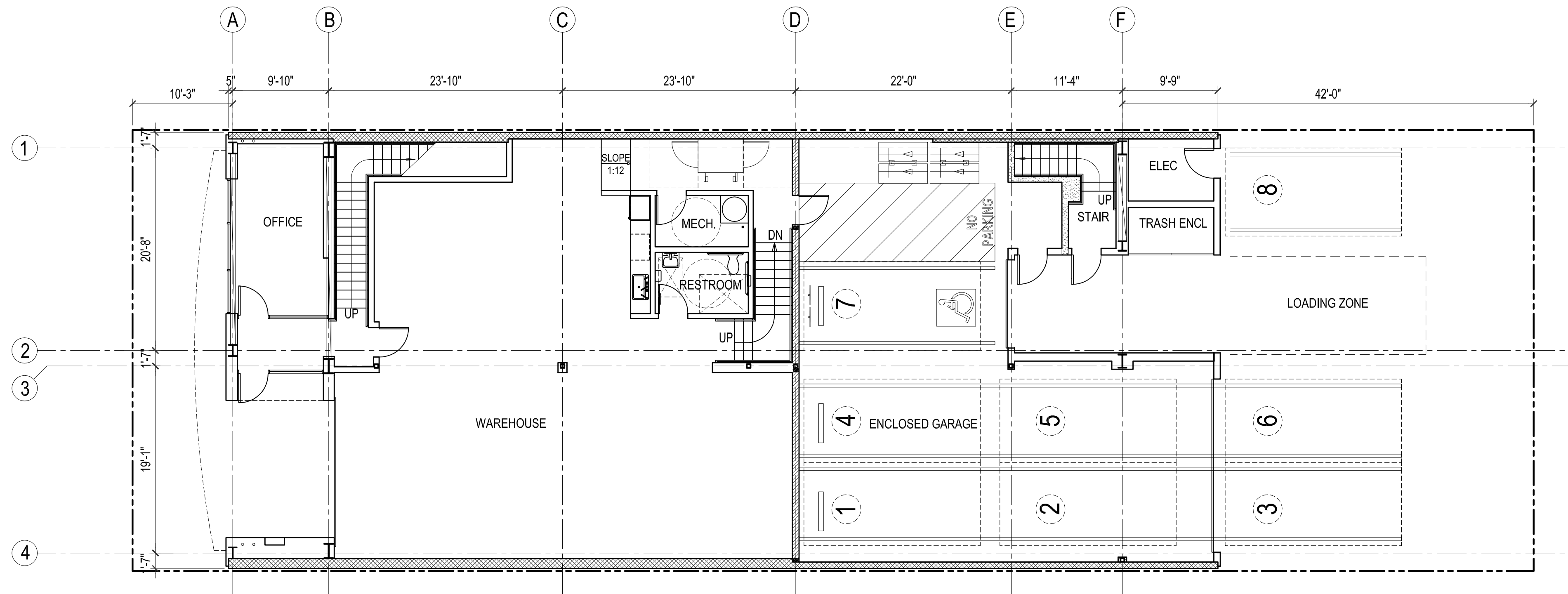
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Description
GROSS FLOOR AREA AND PARKING CALCULATION

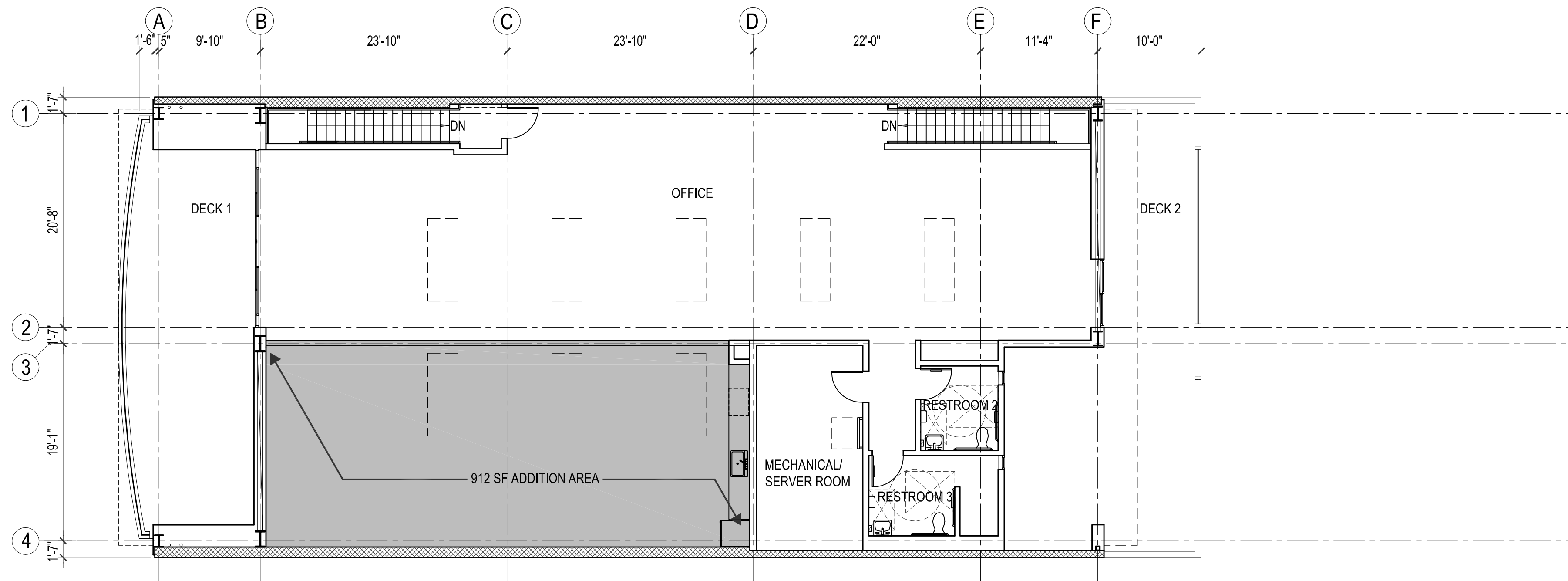


A02.01

1330 - 140-142 SHELDON STREET



1 GROUND FLOOR CONSTRUCTION LAYOUT PLAN
SCALE: 1/8" = 1'-0"



2 SECOND FLOOR CONSTRUCTION LAYOUT PLAN
SCALE: 1/8" = 1'-0"

LEGEND

- FRAMED WALL - 2 X 6@16" U.N.O.
- 1-HOUR RATED SEPARATION WALL
- CMU WALL
- DASHED LINE INDICATES FLOOR OR CEILING ABOVE

CONST. KEY NOTES

- 1 ROLL UP DOOR
- 2 SHOPFRONT SYSTEM
- 3 EXTERIOR SLIDING DOORS
- 4 EYEBROW - CORRUGATED METAL PANEL
- 5 GLASS GUARD RAIL
- 6 CORRUGATED METAL PANEL
- 7 RAISED PLANTER
- 8 SMOOTH PLASTER - RED
- 9 SMOOTH PLASTER - GREY
- 10 SEAT
- 11 BENCH - SEE A05.01 FOR BENCH DRAWINGS

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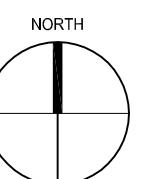


Project Number
1330

Date
MARCH 2020

Scale
1/8" = 1'-0"

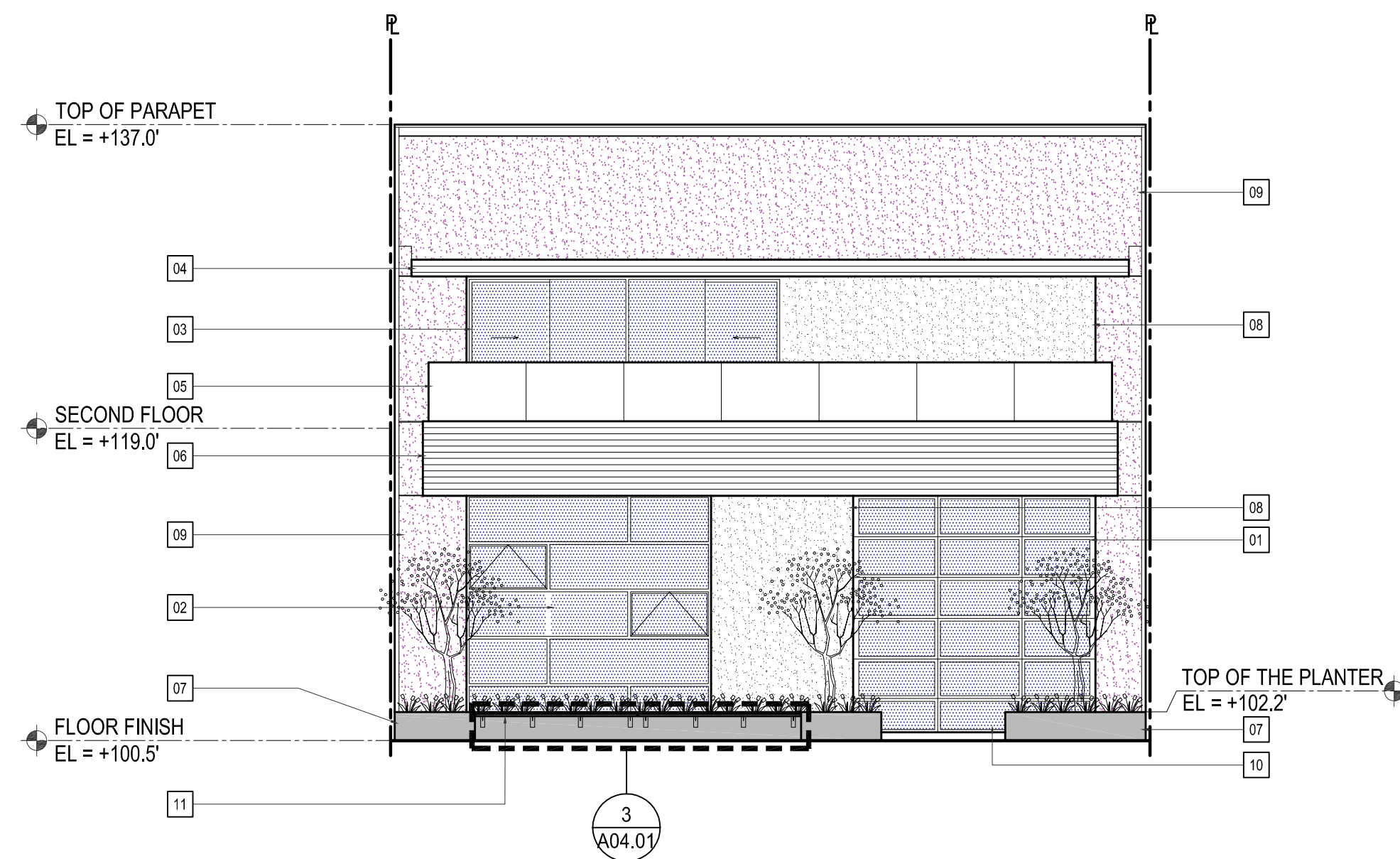
Description
**GROUND AND
SECOND FLOOR
PLAN**



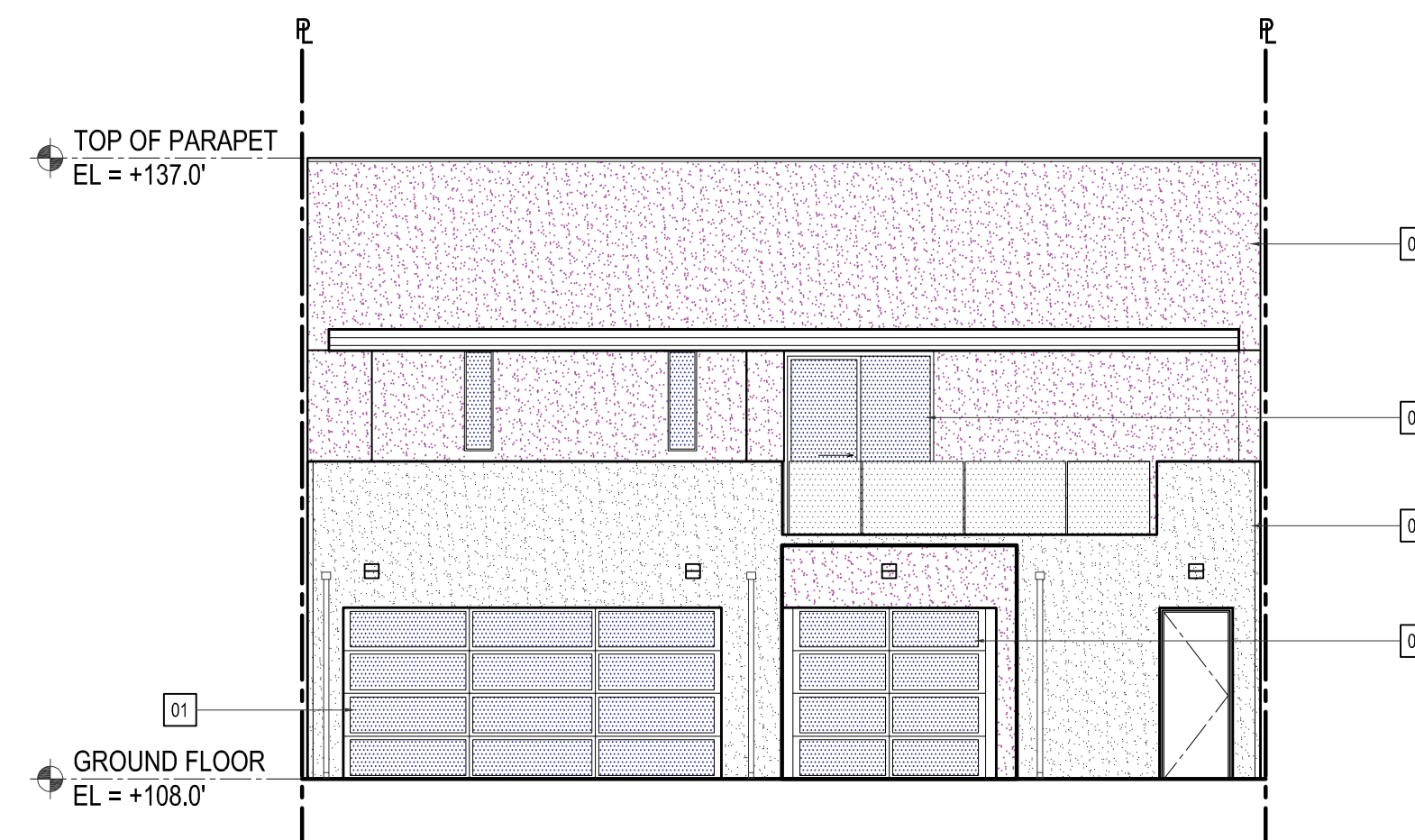
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1330 - 140-142 SHELDON STREET

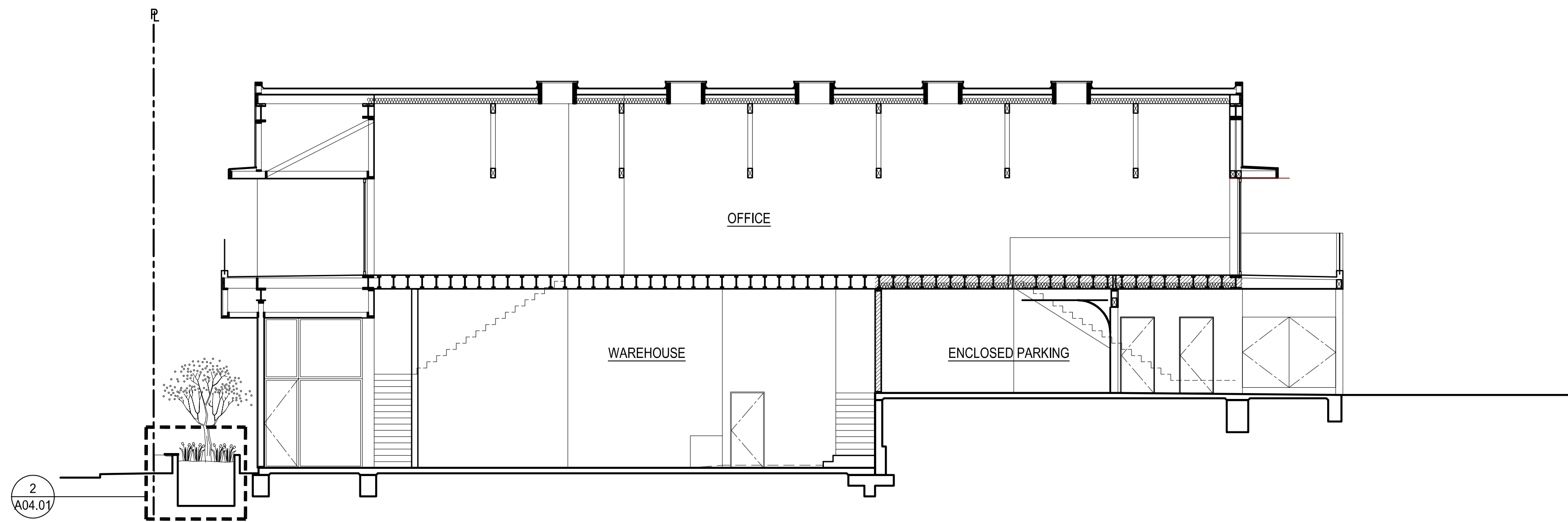
P:\Arch 2013 Projects\1330 140 Sheldon Street\Community Benefit\1330 xbd - community Benefit Site Plan.dwg 03/19/2020 13:40



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 LONGITUDINAL SECTION
SCALE: 1/8" = 1'-0"

LEGEND

- FRAMED WALL - 2 X 6@16" U.N.O.
- 1-HOUR RATED SEPARATION WALL
- CMU WALL
- DASHED LINE INDICATES FLOOR OR CEILING ABOVE

CONST. KEY NOTES

- 1 ROLL UP DOOR
- 2 SHOPFRONT SYSTEM
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- 11 BENCH - SEE A05.01 FOR BENCH DRAWINGS

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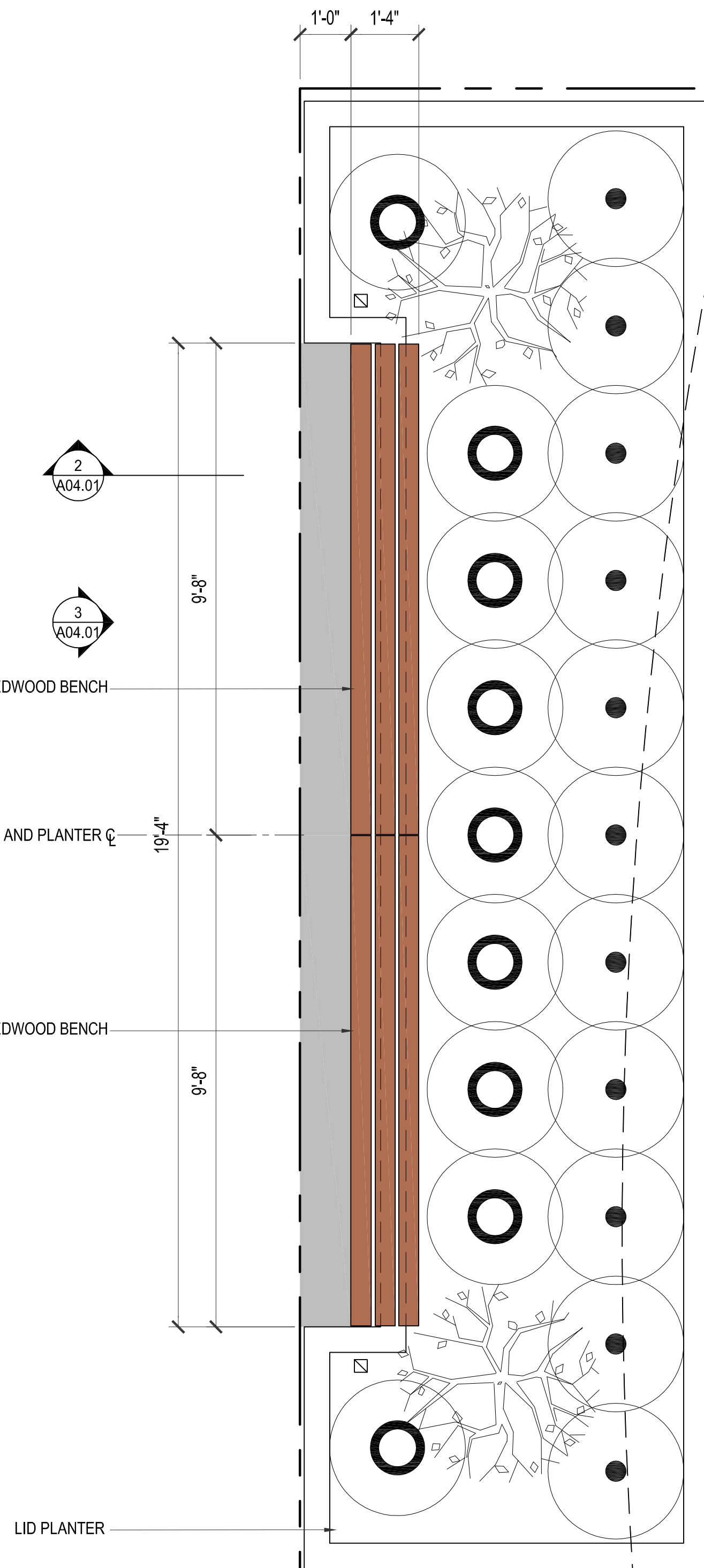
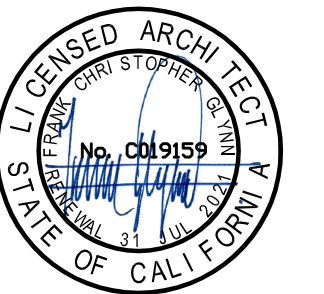
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Date
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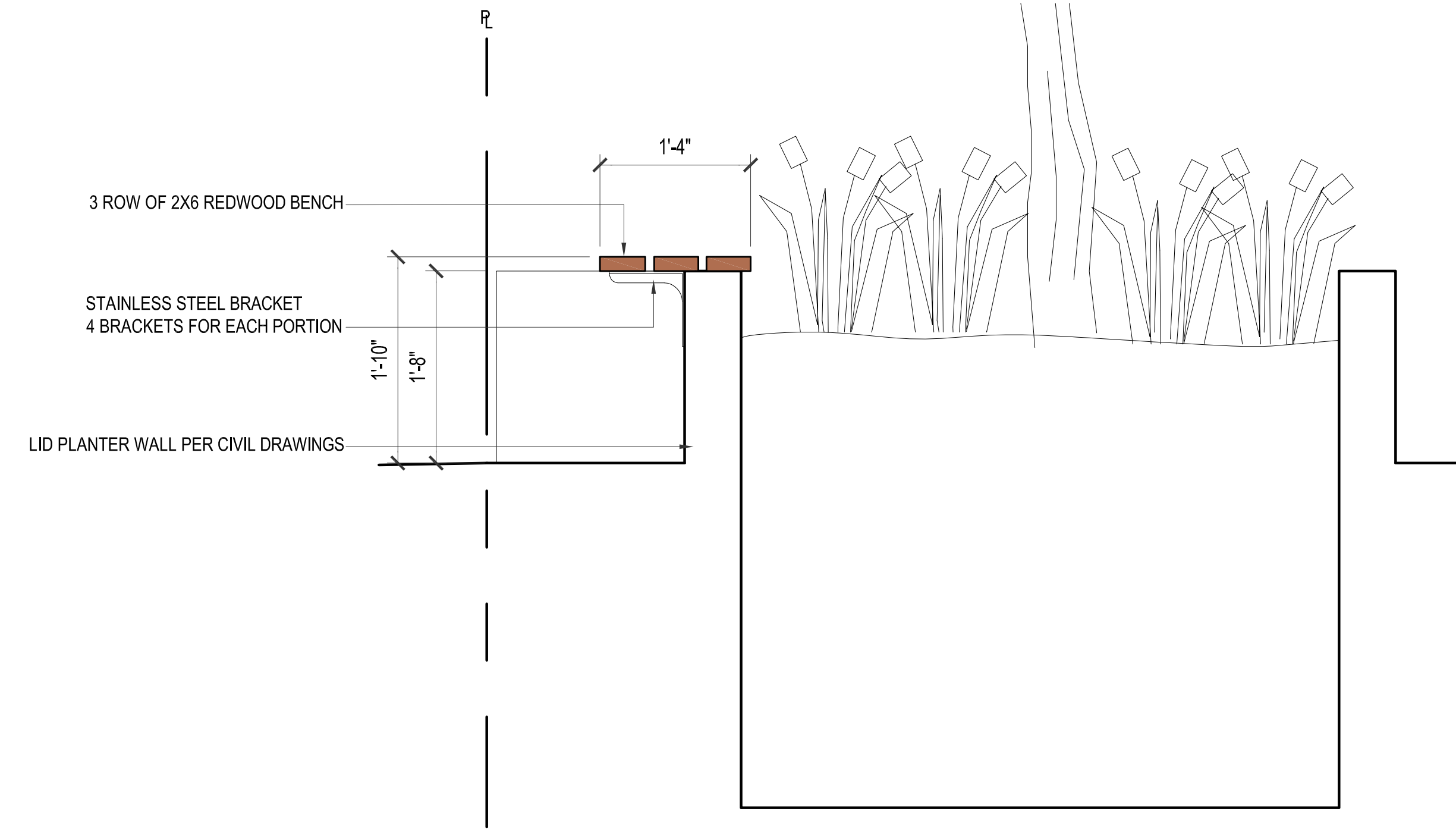
Scale
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Description
ELEVATION AND SECTION

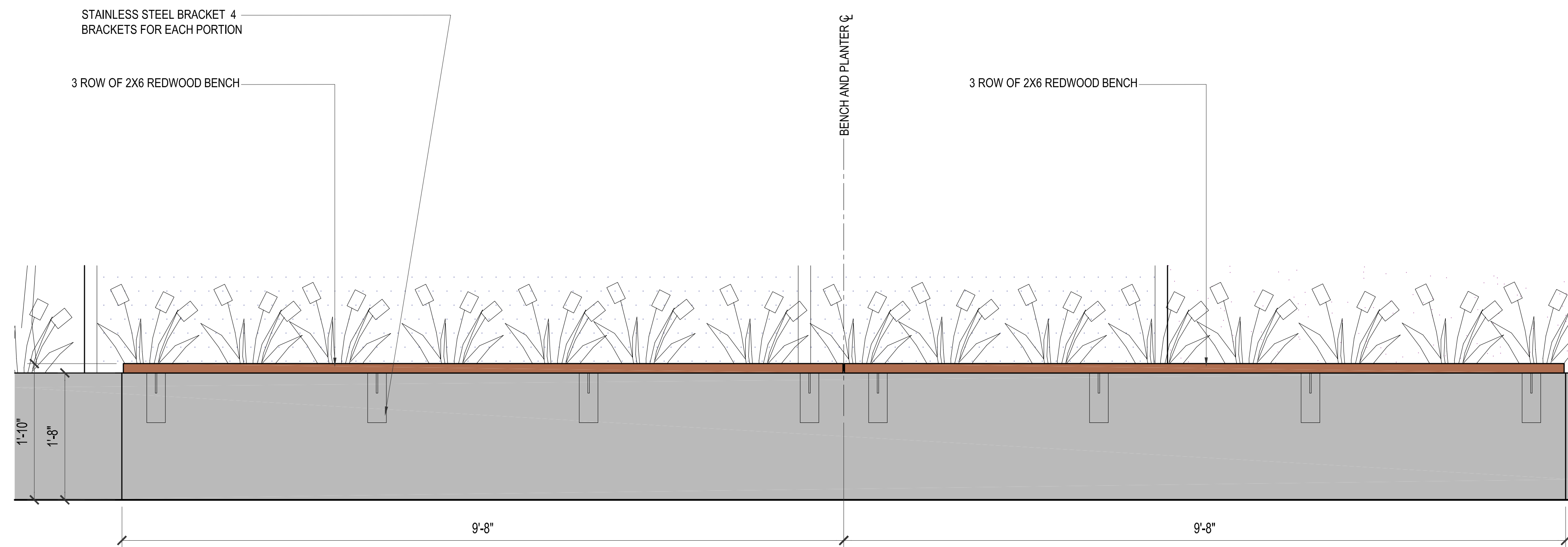
A03.01
1330 - 140-142 SHELDON STREET



1 BENCH PLAN
SCALE: 1/2" = 1'-0"



2 SECTION
SCALE: 1" = 1'-0"

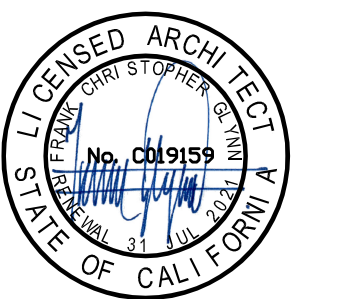


3 ELEVATION
SCALE: 1" = 1'-0"

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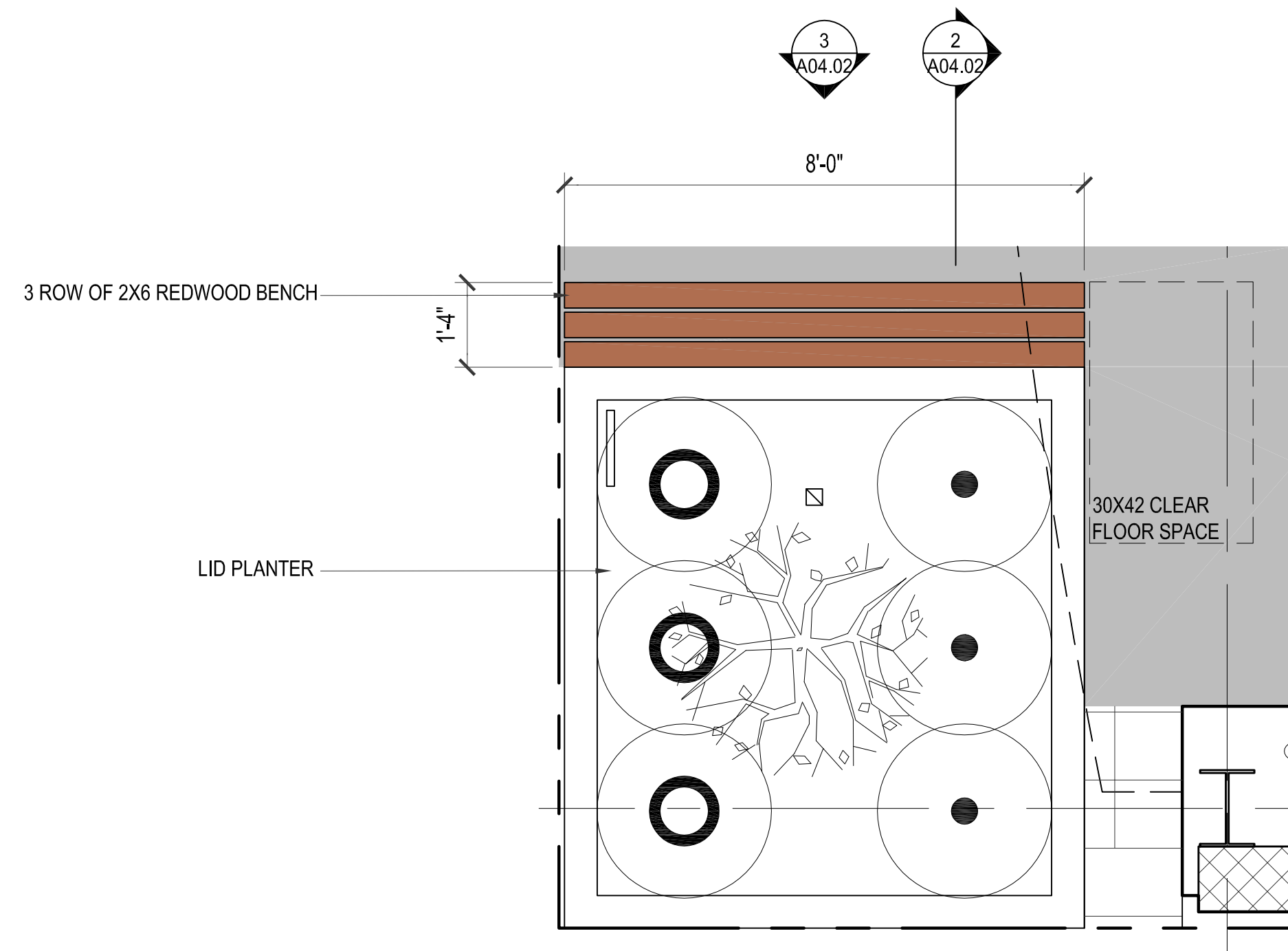


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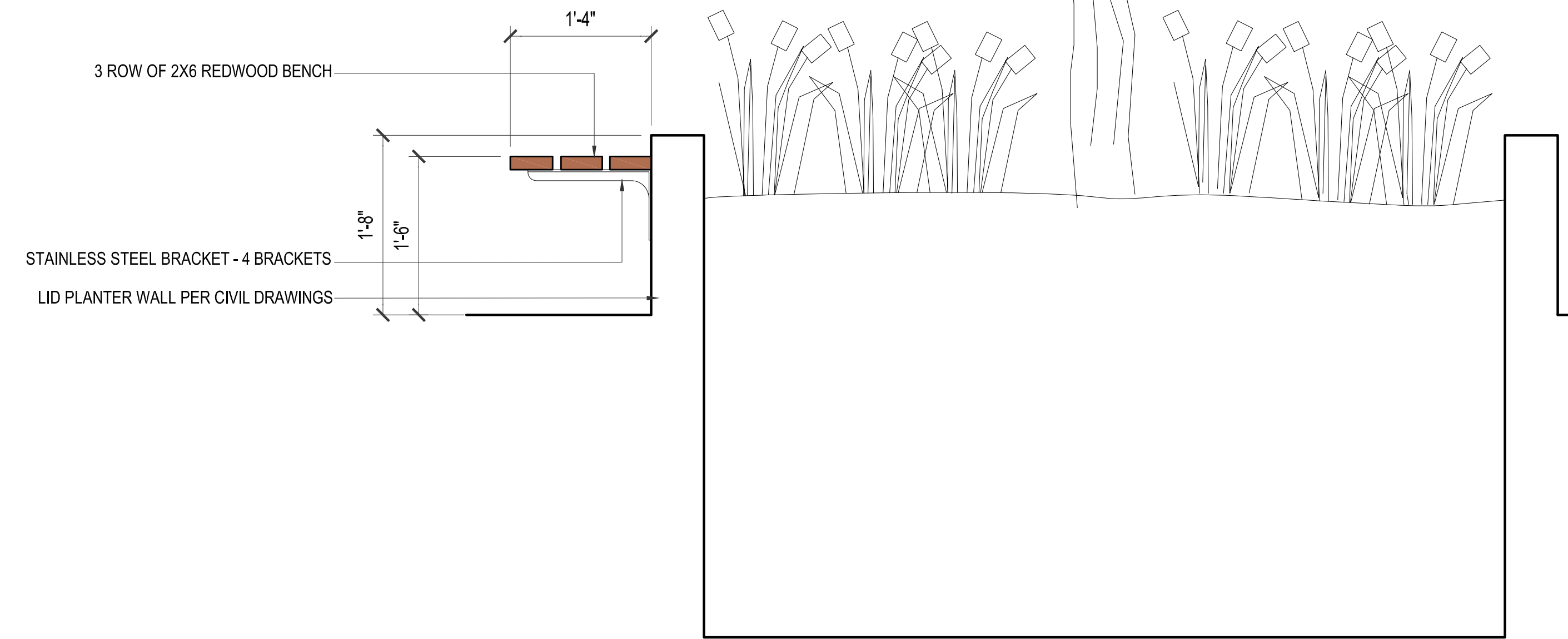
Date
MARCH 2020

Scale
VARIES

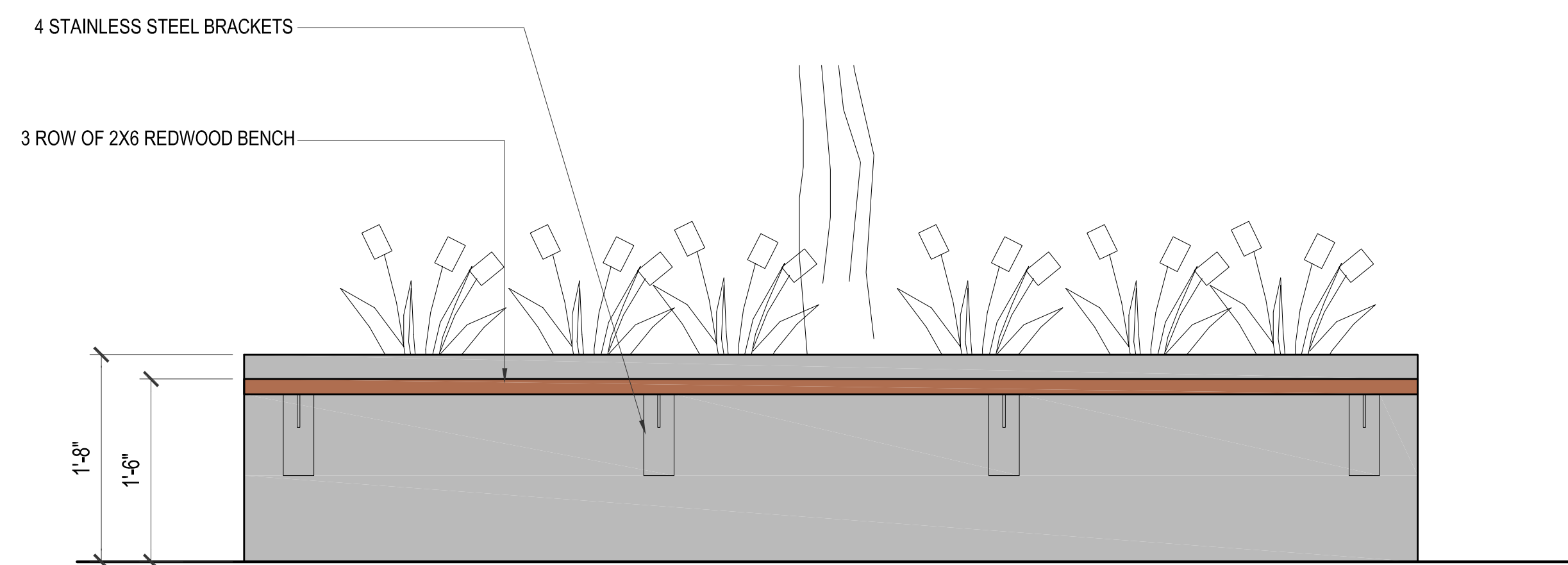
Description
**BENCH
DRAWINGS**



1 BENCH PLAN
SCALE: 1/2" = 1'-0"



2 SECTION
SCALE: 1" = 1'-0"



3 ELEVATION
SCALE: 1" = 1'-0"

GUIDELINE	COMPLIANCE		EXPLANATION
	YES	NO	
ENHANCED BUILDING CHARACTER			
BUILD ON THE QUALITY INDUSTRIAL CHARACTER	✓		THE BUILDING USES CONCRETE MASONRY UNIT ON THE SIDES AND CORRUGATED METAL PANEL IN FRONT AND REAR, WHICH ARE CONSISTENT WITH INDUSTRIAL BUILDINGS IN THE AREA.
CONVEY A SENSE OF OLD AND NEW		✓	
BUILD UPON EXISTING CONTEXT	✓		THE PROJECT INCORPORATES INDUSTRIAL FINISHES, INCLUDING CORRUGATED METAL PANEL, CONCRETE MASONRY UNIT TO MATCH THE CONTEXT OF THE SURROUNDING BUILDINGS.
CONSERVE AND RETAIN THE CHARACTER-DEFINING FEATURES		✓	
ENCOURAGE ADDITIONS THAT COMPLEMENT EXISTING CHARACTER-DEFINING FEATURES		✓	
INCORPORATE SMALL, MEDIUM, AND LARGE SCALES	✓		THE PROJECT INCLUDES HUMAN SCALE ELEMENTS, INCLUDING THE PLANTER IN FRONT OF THE BUILDING, THE OVER HANG OF THE SECOND FLOOR AND THE COVERED BALCONY ON THE SECOND FLOOR.
EMPHASIZE DESIGN AT THE PEDESTRIAN LEVEL	✓		THE BUILDING DESIGN INCORPORATE SEVERAL DISTINCT PLANES, THE RAISED PLANTER DEFINES THE ENTRY PATHWAY.
SPECIFY 360° ARCHITECTURE	✓		THE EQUAL CARE AND ATTENTION TO DETAILS HAVE TAKEN FOR THE FRONT AND REAR ELEVATIONS. DUE TO THE FACT THAT THE SIDE WALLS ARE RIGHT AT NEIGHBORS WALL, NO ADDITIONAL ARCHITECTURAL FEATURES ARE POSSIBLE.
ENHANCE ENTRY EXPRESSION	✓		THE WAY THAT PLANTER CREATES THE ENTRY PATHWAY, THE ENTRY IS SET AT 90° TO SIDEWALK TO PROVIDE PROTECTED ENTRANCE.
ENCOURAGE THE USE OF ROLL-UP DOORS AND SLIDING WALLS AT STREET FRONTAGES	✓		THE 14'-0" X 14'-6" ROLL UP DOOR IN FRONT CREATES CONNECTIVITY INSIDE AND OUTSIDE.
ORIENT SECONDARY ENTRIES TO ALLEYS	✓		THE SECONDARY ENTRANCE IS PROVIDED AT REAR SIDE OF THE BUILDING TO PROVIDE ACCESS TO THE PARKING AND TO THE ALLEY.
INCORPORATE DIFFERENT MATERIALS, COLORS AND TEXTURES	✓		THE MATERIAL PALETTE IS COMBINATION OF DARK GRAY CORRUGATED METAL PANEL, LIGHT GRAY STUCCO AND SPLASH OF RED.
FACILITATE GATHERING			
FORM AN ACTIVE STREET WALL	✓		THE PEDESTRIAN FRIENDLY 19'-0" LONG BENCH IS INTEGRATED INTO LANDSCAPE ELEMENT IN FRONT OF THE BUILDING.
PROVIDE STREET CORNER PLAZAS		✓	
DEVELOP OUTDOOR GATHERING SPACES	✓		THE 435 SF OF COVERED FRONT DECK FACING SHELDON STREET AND 548 SF OF DECK FACING ALLEY CREATES OUTDOOR GATHERING SPACES.
PROVIDE ALLEY-FACING GATHERING SPACES	✓		THE 548 SF OF DECK FACING ALLEY CREATES OUTDOOR GATHERING SPACE.
PROVIDE EASE OF ACCESS	✓		THE GROUND FLOOR FACING SHELDON STREET IS LEVEL WITH SHELDON. THE SITE HAS GRADE DIFFERENTIAL BETWEEN FRONT AND BACK, ADA ELEVATOR IS PROVIDED TO ENSURE EASE OF ACCESS.
ENHANCE SURFACE PARKING	✓		ALL EXTERIOR SURFACES INCLUDING PEDESTRIAN AND PARKING AREA ARE CONSISTENCE PERMEABLE PAVERS.
USE ENDURING, QUALITY PAVING MATERIALS	✓		ALL EXTERIOR SURFACES INCLUDING PEDESTRIAN AND PARKING AREA ARE CONSISTENCE PERMEABLE PAVERS.
PROVIDE STREET FURNITURE	✓		THE 19'-0" LONG BUILT-IN SOLID WOOD BENCH IN A NICHE IN THE FRONT PLANTER WALL CREATES QUALITY STREET FURNITURE.
USE EXTERIOR LIGHTING TO ACCENTUATE SAFETY AND DESIGN	✓		THE BUILDING EXTERIOR LIGHTING HAS BEEN DESIGNED TO PROVIDE FULL COVERAGE FOR PEDESTRIAN AND PARKING AREA.
PROVIDE WI-FI HOTSPOTS		✓	
INCORPORATE LANDSCAPE AND ENVIRONMENTAL DESIGN			
DESIGN LAYERED AND LUSH LANDSCAPING	✓		THE PLANTS SELECTED FOR THE FRONT PLANTER WILL PROVIDE PLEASANT COLOR AND ENVIRONMENT THROUGH OUT THE YEAR. THE COMBINATION OF PLANTS ARE IN CONTRAST WITH EACH OTHER. THE SALVIA LEUCANTHA IS A GROUND COVER WITH SHOOTS OF COLORS WHERE AS THE DIETES IRIDIODES IS TALLER WITH MULTI COLORED FLOWERS. IN ADDITION TO THE PLANTS WE ARE PROVIDING 3 JAPANESE MAPLE TREES WITH BRIGHT RED LEAF.
SELECT DROUGHT-TOLERANT AND NATIVE PLANTS	✓		THE CHOSEN PLANTS ARE DROUGHT-TOLERANT PLANTS.
UTILIZE PLANTERS AND POTS TO PROVIDE GREENERY	✓		THE BUILDING FRONTAGE IS 45'-0" AND TOTAL LENGTH OF FRONT PLANTER IS 37'-0".
IMPROVE LANDSCAPING IN PARKING AREAS		✓	
USE FENCES AND WALLS AS AN EXTENSION OF THE ARCHITECTURE		✓	
UTILIZE NATURAL LIGHT	✓		THE (8) 2'-11" X 8'-0" SKYLIGHTS WILL PROVIDE NATURAL DAY LIGHT TO THE SECOND FLOOR AND 14'-0" X 14'-6" GLASS ROLL UP DOOR WILL PROVIDE NATURAL LIGHT TO GROUND FLOOR.
ENCOURAGE CONNECTIVITY			
INSTALL BIKE FACILITIES	✓		THE 2 BIKE RACKS IN FRONT OF THE BUILDING ARE AVAILABLE TO THE PUBLIC, ALSO THERE ARE 4 BIKE RACKS IN THE PARKING AREA.
DESIGN FOR SIGNAGE , WAY-FINDING, AND PUBLIC ART			
DESIGN SIGNS AS AN INTEGRAL COMPONENT		✓	
INCORPORATE WAY-FINDING THROUGH INTEGRAL DESIGN		✓	
ENCOURAGE PUBLIC ART		✓	

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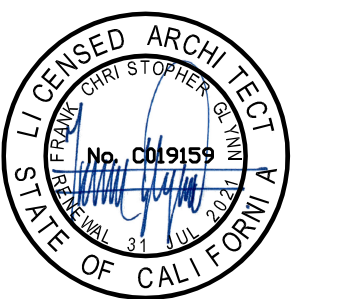


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Date
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Scale
VARIES

Description
**SMOKY HOLLOW
DESIGN
GUIDELINE**

A05.01
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1 BIKE RACK



2 LANDSCAPE SOLAR UP-LIGHT FIXTURE - WARM COLOR



3 SALVIA LEUCANTHA



4 DIETES IRIDIOIDES



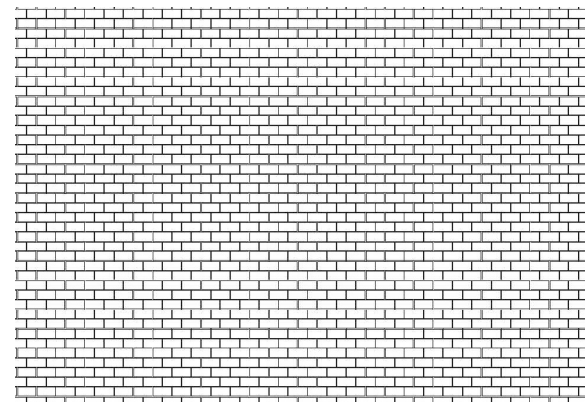
5 RIBBON LEAF JAPANESE MAPLE



6 PLANTER WALL



7 PAVERS



8 PAVERS PATTERN



9 BENCH REDWOOD

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FEBRUARY 2020

Scale

N.T.S.

Description

MATERIAL
BOARD AND
MOOD BOARD

A06.01
1330 - 140-142 SHELDON STREET

